

LAHC 46 CHESTER AVENUE, MAROUBRA

AFFORDABLE HOUSING DEVELOPMENT CIVIL ENGINEERING PLANS - D.A. STAGE







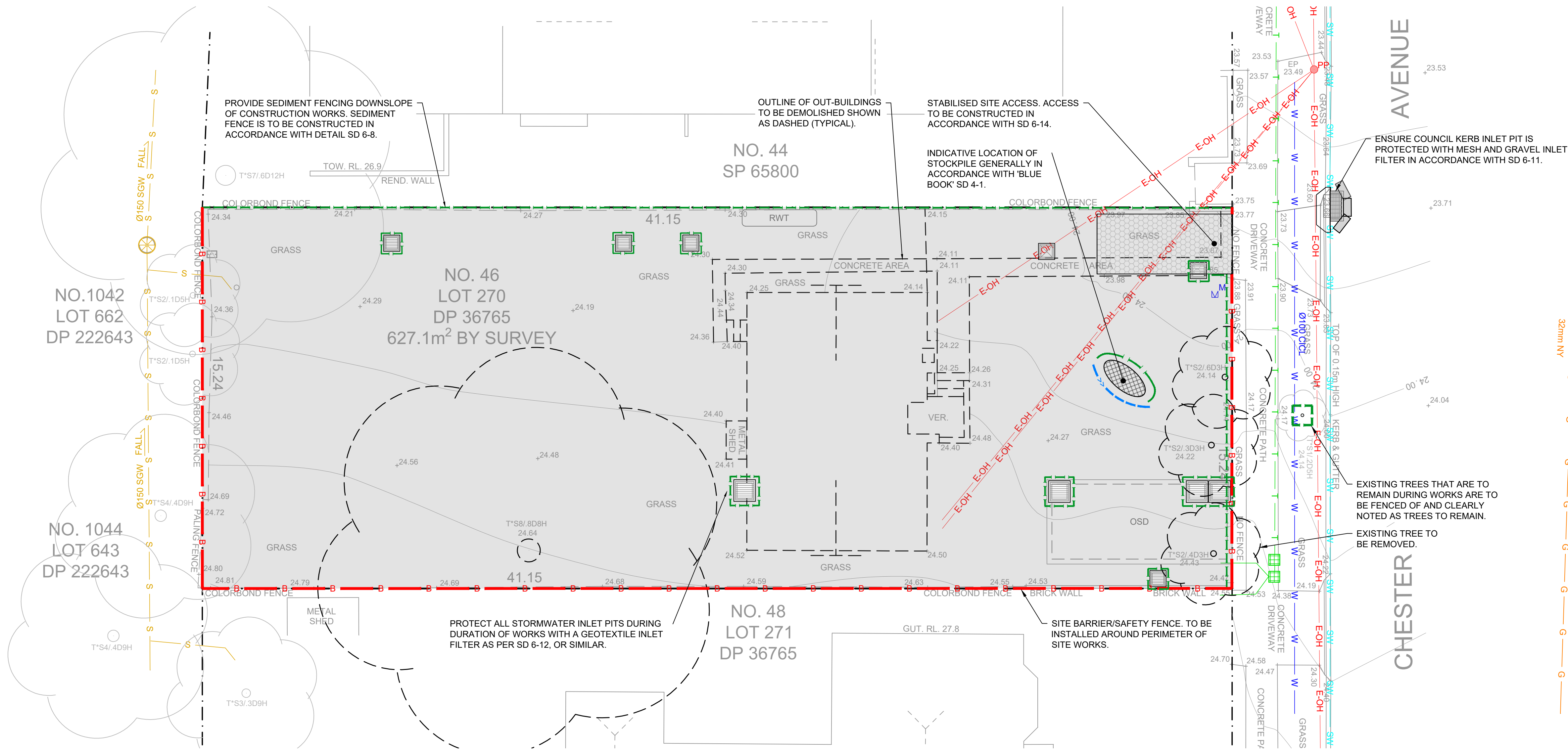
SITE LOCALITY PLAN

SOURCE : MAPS.SIX.NSW.GOV.AU (@2023)

DRAWING SCHEDULE	
DRG No.	DRAWING TITLE
DA01	COVER SHEET, DRAWING SCHEDULE AND SITE LOCALITY PLAN
DA02	CONCEPT EROSION AND SEDIMENT CONTROL PLAN
DA03	SITE CATCHMENT AREA PLAN
DA04	CONCEPT SITEWORKS, GRADING AND STORMWATER DRAINAGE PLAN

NOT FOR CONSTRUCTION

REV.	DESCRIPTION	DESIGN	DRAWN	CHECKED	VERIFIED	DATE	CLIENT	ARCHITECT	ALL SETOUT TO ARCHITECT'S DRAWINGS. DIMENSIONS TO BE VERIFIED WITH THE ARCHITECT OR COMMENCING WORK. NORTHROP ACCEPTS NO RESPONSIBILITY FOR THE USABILITY, COMPLETENESS OR SCALE OF DRAWINGS TRANSFERRED ELECTRONICALLY.	PROJECT	DRAWING TITLE	JOB NUMBER	
01	ISSUED FOR CO-ORDINATION	B.M.S.	L.M.	C.N.		10/11/23	 Homes NSW	 © Integrated Design Group Pty Ltd ABN 64 115 006 329 Nominated Architect Simon Thorne reg. no. 7093 info@idgarchitects.com.au www.idgarchitects.com.au	 Wollongong Level 1, 57 Kembla Street, Wollongong NSW 2500 Ph (02) 4226 3333 Fax (02) 4226 3666 P.O. Box 863, Wollongong, NSW 2500 Email southcoast@northrop.com.au ABN 81 094 433 100	RESIDENTIAL FLAT BUILDING 46 CHESTER AVENUE MAROUBRA	COVER SHEET, DRAWING SCHEDULE AND SITE LOCALITY PLAN	231042	
02	ISSUED FOR CO-ORDINATION	B.M.S.	L.M.	R.S.		12/02/24							
03	ISSUED FOR DEVELOPMENT APPLICATION APPROVAL	B.S.	L.M.	R.S.	D.H.	07/03/24							
							 NSW GOVERNMENT	THE COPYRIGHT OF THIS DRAWING REMAINS WITH NORTHROP CONSULTING ENGINEERS PTY LTD.				DRAWING NUMBER DA01	REVISION 03
							DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED		DRAWING SHEET SIZE = A1				



LEGEND

- E-OH ELECTRICAL - OVERHEAD
- PP ELECTRICAL POLE
- G EXISTING GAS MAIN
- S EXISTING SEWER MAIN
- SW EXISTING STORMWATER PIPE
- T EXISTING TELECOMMUNICATION CONDUIT
- W EXISTING WATER MAIN
- SEDIMENT FENCE (SD 6-8)
- B SITE BOUNDARY OR BARRIER FENCE
- STABILISED SITE ACCESS (SD 6-14)
- DISTURBED AREA
- STOCKPILE (SD 4-1)
- MESH AND GRAVEL INLET FILTER (SD 6-11)
- PIT PROTECTION (SD 6-12)
- RWT PROPOSED RAINWATER TANK
- OSD PROPOSED OSD TANK
- 674.5 EXISTING CONTOUR
- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED
- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY

NOTE:
1. STANDARD DRAWINGS (SD) ARE TO BE PROVIDED AS PER THE "BLUE BOOK" MANAGING URBAN STORMWATER (LANDCOM, 2004). FURTHER DETAIL IS TO BE PROVIDED AT CONSTRUCTION STAGE.

EROSION AND SEDIMENT CONTROL NOTES

- TOTAL AREA OF DISTURBANCE TO BE KEPT TO A MINIMUM. 'NO-GO' AREAS FOR WORKERS ARE TO BE SET OUT TO ENSURE DISTURBED AREAS ARE KEPT AT A MINIMUM.
- SITE WORKS WILL NOT START UNTIL THE EROSION AND SEDIMENT CONTROL WORKS OUTLINED IN CLAUSES 2 TO 4 BELOW, ARE INSTALLED AND FUNCTIONAL.
- THE INGRESS TO AND EGRESS FROM THE SITE WILL BE CONFINED TO ONE STABILISED POINT. SEDIMENT OR BARRIER FENCING WILL BE USED TO RESTRICT ALL VEHICULAR MOVEMENTS TO THAT POINT. STABILISATION WILL BE ACHIEVED BY EITHER:
 - CONSTRUCTING A SEALED (e.g. CONCRETE OR ASPHALT) DRIVEWAY TO THE STREET, OR
 - CONSTRUCTING A STABILISED SITE ACCESS, ACCORDING TO STANDARD DRAWING SD 6-14 OR OTHER SUITABLE TECHNIQUE APPROVED BY THE COUNCIL.
- SEDIMENT (SD 6-8) AND BARRIER FENCES TO BE INSTALLED.
- MESH AND GRAVEL "SAUSAGE" PROTECTION (SD 6-11) TO BE PROVIDED TO PROTECT GUTTER INLETS NEAR THE ALLOTMENT.
- TOPSOIL TO BE STRIPPED AND STOCKPILED (SD 4-1) FOR LATER USE IN LANDSCAPING THE SITE.
- ALL STOCKPILES TO BE PLACED IN THE LOCATION SHOWN ON THE ESCP AND AT LEAST 2 METRES CLEAR OF ALL AREAS OF POSSIBLE AREAS OF CONCENTRATED WATER FLOW, INCLUDING DRIVEWAYS.
- LANDS TO THE REAR AND SIDES OF THE ALLOTMENT AND ON THE FOOTPATH WILL NOT BE DISTURBED DURING WORKS EXCEPT WHERE ESSENTIALS, e.g. DRAINAGE WORKS ACROSS THE FOOTPATH. WHERE WORKS ARE NECESSARY, THEY WILL BE UNDERTAKEN IN SUCH A WAY TO LEAVE THE LANDS IN A CONDITION OF HIGH EROSION HAZARDS FOR AS SHORT A PERIOD AS PRACTICABLE. THEY WILL BE REHABILITATED AS SOON AS POSSIBLE. STOCKPILES WILL NOT BE PLACED ON THESE LANDS AND THEY WILL NOT BE USED AS VEHICLE PARKING AREAS.
- ALL PIPE TRENCHES TO BE BACKFILLED AS QUICKLY AS POSSIBLE. IF TRENCH IS TO REMAIN OPEN WHILE SITE IS UNATTENDED/AFTER THE END OF A SHIFT, CONTRACTOR IS TO ENSURE THAT THE TRENCH IS APPROPRIATELY COVERED TO NOT ALLOW THE INGRESS OF WATER.
- APPROVED BINS FOR BUILDING WASTE, CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS AND LITTER WILL BE PROVIDED AND ARRANGEMENTS MADE FOR REGULAR COLLECTION AND DISPOSAL.
- TOPSOIL WILL BE RE-SPREAD AND ALL DISTURBED AREAS TO BE REHABILITATED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS.
- COUNCIL'S PERMISSION WILL BE SOUGHT IF ANY MATERIALS NEED TO BE PLACED ON FOOTPATHS OR NATURE STRIPS. SUCH MATERIALS WILL BE PLACED ON PLASTIC AND COVERED.



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01	ISSUED FOR CO-ORDINATION	B.M.S.	L.M.	C.N.		10/11/23
02	ISSUED FOR CO-ORDINATION	B.M.S.	L.M.	R.S.		12/02/24
03	ISSUED FOR DEVELOPMENT APPLICATION APPROVAL	B.S.	L.M.	R.S.	D.H.	07/03/24

CLIENT
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SCALE 1:100@A1

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PROJECT
RESIDENTIAL FLAT BUILDING
46 CHESTER AVENUE
MAROUBRA

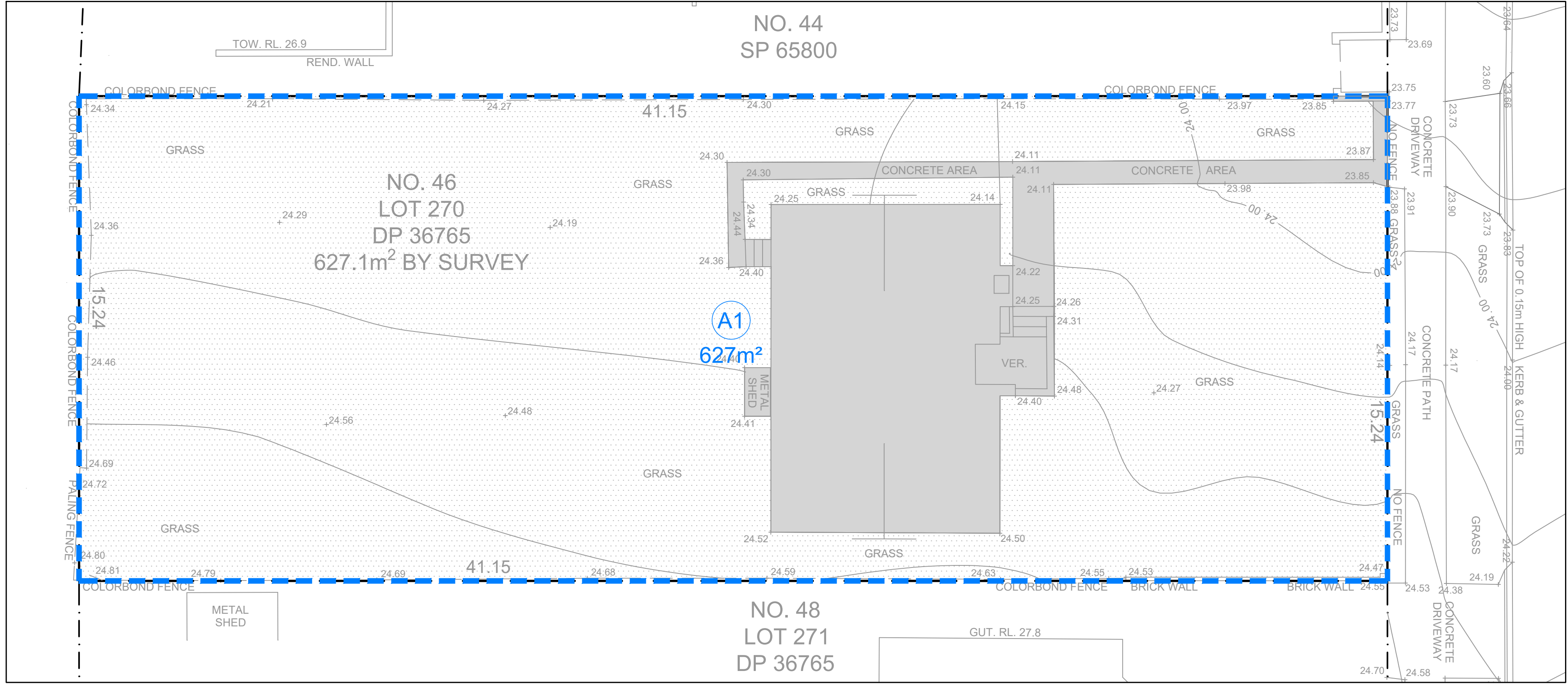
DRAWING TITLE
CONCEPT EROSION AND SEDIMENT CONTROL PLAN

JOB NUMBER
231042

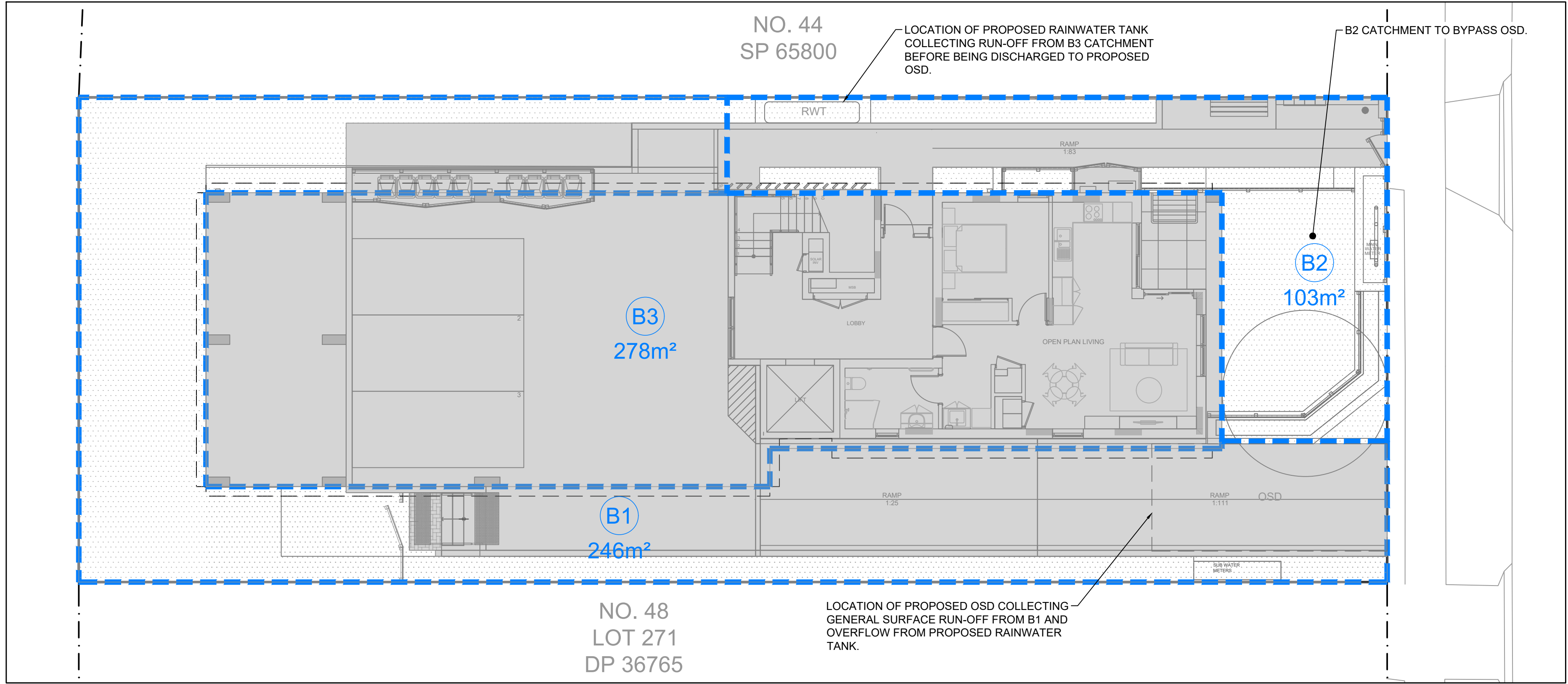
DRAWING NUMBER	REVISION
DA02	03

DRAWING SHEET SIZE = A1

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PRE-DEVELOPMENT CATCHMENT PLAN



POST-DEVELOPMENT CATCHMENT PLAN

LEGEND

- IMPERVIOUS AREA
- PERVIOUS AREA
- CATCHMENT BOUNDARY
- CATCHMENT I.D.
- ROOF OUTLINE
- DIRECTION OF OVERLAND FLOW
- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY

Land use/surface type	Total area (m ²)	Impervious Area (m ²)		Pervious Area (m ²)	
		(m ²)	(%)	(m ²)	(%)
Pre-development Scenario					
Residential Area	549	25	5%	525	95%
- Landscaped	525	0	0%	525	100%
- Impervious	25	25	100%	0	0%
Roof area	78	78	100%	0	0%
TOTAL	627	102	16%	525	84%
Post-development Scenario					
B1 To OSD	246	116	47%	130	53%
- Landscaped	130	0	0%	130	100%
- Impervious	116	116	100%	0	0%
B2 By-pass Area	103	40	39%	63	61%
B3 Roof Area to OSD/RWT	278	278	100%	0	0%
TOTAL	627	434	69%	193	31%

TABLE '1' - SUMMARY OF SITE CATCHMENT AREAS

Mass Curve Calculation for on-Site Detention (as per Randwick Council Requirements)					
Input required for bold type values					
Site area	627 m2				
Pre-development impervious area	102 m2				
Post-development impervious area	434 m2				
Pre-development impervious %	16.3 %				
Post-development impervious %	69.2 %				
PSD Recurrence Interval (5/10)	5 yr				
Predevelopment runoff coefficient	0.621				
Predevelopment rainfall intensity	55.4 mm/h				
Permissible Site Discharge	9.65 L/s				
Volume Recurrence Interval (20/100)	20 yr				
Postdevelopment runoff coefficient	1.000				
Duration min	Intensity mm/h	Discharge L/s	PSD L/s	Storage Volume m3	
5	213	37.09	9.65	8.23	
10	167	29.03	9.65	11.63	
20	127	22.15	9.65	15.00	
30	106	18.41	9.65	15.77	
40	91.4	15.92	9.65	15.05	
50	81.0	14.10	9.65	13.36	
60	72.9	12.70	9.65	11.00	
70	66.5	11.59	9.65	8.15	
120	47.2	8.22	9.65	-10.29	
Note: Roundoff error may vary from other similar spreadsheet calculations					
Take required storage as				16 m³	

TABLE '2' - SUMMARY OF OSD AND PSD CALCULATION RESULTS USING MASS CURVE CALCULATION

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